

**CITY OF UNION  
PLANNING DEPARTMENT  
101 Sharp Avenue  
Union SC 29379**

**Phone: (864) 429-1720 Fax: (864) 429-1686**

**MOBILE HOME PERMITTING & INSTALLATION GUIDE  
\*\*\*ATTENTION\*\*\***

**PLEASE DO NOT CALL FOR POWER INSPECTION UNTIL  
ALL THE FOLLOWING ITEMS ARE COMPLETED:**

- Landing at each entrance and every door where the door swings out over the top step.
- Steps at every entranceway.
- Handrails and pickets (if landing is 30" above ground).
- Tie downs completed.
- Street numbers are on dwelling and at street (if required).
- If gas appliances, gas test must be completed (10 PSI)
- All electrical wiring must be correctly installed.
- All plumbing is connected to sewer system or tank

## **GENERAL INFORMATION**

**After the permit has been issued, these steps should be followed to insure the fastest possible service from the Planning Department and for electrical service to be connected by the Power Company:**

- 1. Call or visit the Power Company serving your area and make an application for power.**
- 2. After the mobile home is completely setup (as stated on the previous page) call the Planning Department to request your inspection at (864) 429-1720.**
- 3. Have the Inspection Card posted on or near the mobile home so the inspector can see it from the road, and so they can sign the card when approved.**
- 4. Make sure the county decal sticker with the large #44 in the center is placed in the window so it can be viewed as you approach the mobile home.**
- 5. State law requires that the method of sewage disposal be approved by the Health Department before a permit can be issued.**



**CITY OF UNION  
PLANNING DEPARTMENT**

**MANUFACTURED HOME  
INSTALLATION  
GUIDELINES**

**Updated 2019**

# **ATTENTION**

A Residential Permit Application Form is required to be filled out and submitted prior to issuance of any permits for the set-up of a Manufactured Home. Manufactured homes must be installed by a SC licensed installer in accordance with the South Carolina Manufactured Housing Board guidelines. For more information or to check a license

go to

[www.llr.state.sc.us/POL/ManufacturedHousing](http://www.llr.state.sc.us/POL/ManufacturedHousing).

# **AUTHORITY**

In accordance with Code of Ordinance for The City of Union, International Residential Code (IRC), and the National Electrical Code, this Guideline is provided to offer a listing and explanation of requirements for inspection of a Manufactured Home. Inspections are NOT limited by this guideline and are subject to change without notification.

ALL NEW HOMES ARE REQUIRED TO BE SET-UP PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. A COPY OF THE PLANS ARE REQUIRED TO BE ON SITE AT THE TIME OF THE FOUNDATION INSPECTION FOR THE INSPECTOR'S REVIEW. THE FOUNDATION SET-UP WILL NOT BE APPROVED IF THIS INFORMATION IS NOT PROVIDED.

Note: If the home is older and the installation instructions are not available, minimum set-up per Manufactured Housing Board Installation Regulations (Chapter 19 – Section 79-42 Manufactured Home Installation Requirements). Go to <http://www.llr.state.sc.us/POL/ManufacturedHousing/index.asp?file=laws.htm> for further information. The Manufacturers Installation Instructions and the Manufactured Housing Board Installation Regulations shall preempt any existing local standard.

Please keep in mind the following Manufactured Housing Board Policies Adopted in 2005: “In addition to new manufactured homes being installed according to the manufactured homes instructions, the licensed installer, contractor, or dealer is responsible for all aspects of the installation including site preparation. Homeowners cannot install their own homes even if they plan to reside in the home.” For further information or questions concerning the Program, you may contact the Board at (803) 896-4682

NOTICE: All Manufactured Homes Must Be Properly Licensed and Permitted Prior To Delivery. Failure to comply may result in additional permit fees and/or the issuance of fines for violations.

**ZONING**: Manufactured homes placed in zoned areas must comply with the requirements specified in City of Union Zoning Ordinance. For information concerning zoning districts or special requirements contact The City of Union Planning Department.

**SILT FENCE INSTALLATION**: Where lots are graded, and the potential exists for run off, a silt fence will be required.

**CONSTRUCTION ENTRANCE PAD**: A gravel entrance pad must be provided at the entrance to the site. Minimum dimensions for this pad must be 10' wide by 50' in length. Pad must be # 57 Stone, 6" deep.

**GAS INSTALLATION**: A separate mechanical permit and an inspection shall be required for all Manufactured Homes requiring a gas meter. This permit is separate from the set-up permit for the home.

**POSTING OF PERMIT CARD**: The permit card is required to be posted at the meter base or on the door of the home facing the public access road. A \$15.00 fee will be required to be paid for failure to post the permit card, inspection will be postponed until payment is made.

**CERTIFICATE OF OCCUPANCY**: Compliance with the inspection schedule and approval is required in order to obtain a certificate of occupancy. All homes must be connected to water and sewer/septic prior to approving the final inspection. Upon approval of inspections 1 through 3, certificates of occupancy are issued and are available upon request.

**\*The term manufactured home used in these regulations shall not include prefabricated, modular or unitized dwellings placed on permanent foundations, nor shall it refer to travel trailers, campers or similar units designed for recreation or short-term use.**

**\*Manufactured homes must be less than ten (10) years old to be placed on a lot located within the City of Union.**

**\*A manufactured home over ten (10) years old that is currently located within the City of Union cannot be relocated to another location within the City of Union.**

## **INSPECTION SCHEDULE**

### **There are three types of inspections conducted:**

#### **A – FOUNDATION INSPECTION WILL CONSIST OF THE FOLLOWING:**

This inspection will include setbacks, grading of lot, proper drainage, silt fence installation where required, footings, foundation blocking, tie downs, Plumbing, Dryer Vent, HVAC Ductwork and placement of license decal. This inspection is required prior to installation of skirting. A \$15.00 reinspection fee will be charged to the permit holder if skirting is installed prior to foundation approval and the skirting will have to be removed.

*NOTE: It is the responsibility of the permit holder to clearly mark the location of the property pins/lines, so the set-backs can be Identified. Property lines shall further be identified by string lines at the time of foundation inspection. NO FOUNDATION WILL BE APPROVED IF THE SETBACKS CANNOT BE CLEARLY IDENTIFIED BY THE BUILDING INSPECTOR.*

#### **B – ELECTRICAL/PLUMBING/HVAC/SAFETY INSPECTION WILL CONSIST OF THE FOLLOWING:**

This inspection will include electrical installation, landings and/or decks and placement of E-911 address numbers. Inspections of the plumbing, HVAC ductwork and dryer vent material and connections will be inspected and must be approved prior to skirting of home.

*NOTE: INSPECTIONS A & B will be conducted at the same time.*

#### **C - SKIRTING INSPECTION WILL CONSIST OF THE FOLLOWING:**

Skirting Installation. (See page 8). All Home's must be connected to water and sewer/septic prior to final inspection being approved. *City of Union Code Enforcement will conduct this inspection.*

**SCHEDULING AN INSPECTION:** All inspections must be scheduled a minimum of one working day in advance. Inspection requests must be called in before 4:00 PM to be scheduled the next business day. Please have your permit number when calling. To schedule and inspection call (864) 429-1720.

**INSPECTION:** Information regarding the inspection is sent and kept at the City of Union Planning Department, to inquire about the inspection call (864) 429-1720.

**PENALTY FOR NON-COMPLIANCE:** Failure to comply with these regulations shall constitute a misdemeanor and be punishable per the City of Union Code Enforcement.

**RE-INSPECTION PENALTY:** If the inspector arrives to conduct an inspection and the home is not ready for inspection a \$15.00 re-inspection fee will be charged. All re-inspection fees must be paid prior to a re-inspection being scheduled.

### **NOTIFICATION TO UTILITY COMPANIES:**

The City of Union will send a power release and (if applicable) gas release to the utility company. The utility is to be contacted with any questions after this release is submitted.

# **FOUNDATION**

## **Inspection A**

Note: These instructions are only to be used for older homes where the Manufacturer's Installation Instructions are not available. For additional information regarding set-up go to:  
<http://www.llr.state.sc.us/POL/ManufacturedHousing/index.asp?file=laws.htm>

### **SITE PREPARATION:**

The area under the home must be cleared of all vegetation and graded to allow for drainage. All footings or pier foundations shall be constructed on firm undisturbed soil or on controlled fill, which is free of all vegetation, to a minimum load bearing capacity of 2000 pounds per square foot. Controlled fill reports/letters must be provided to City of Union Building Planning Department for review and approval prior to first inspection being scheduled.

### **PIERS:**

Piers or load-bearing supports, or devices shall be designed and constructed to evenly distribute the loads. Door support piers are needed under each side of door openings. Piers shall be constructed as follows:

1. All piers shall be constructed on footings of solid concrete, poured in place or pre-cast concrete, no less than 16 x 16 x 4 inches thick, except piers over 80 inches high must have footings no less than 24 x 24 x 6 inches thick.
2. Pier Supports shall begin not more than 2 feet from the exterior of each end wall. Supports shall be installed directly under the main frame (chassis).
3. Piers less than 36 inches high shall be constructed of open or closed cell, 8 inches x 16 inches, concrete blocks placed with cores or cells vertically. Piers shall be installed with their long dimensions perpendicular to the main (I-Beam) frame member it supports and shall have a minimum two-inch solid wood cap, solid masonry unit or concrete cap, or equivalent.
4. Piers between 36 and 80 inches high, and all corner piers over three blocks high, shall be double blocked (16" x 16") consisting of interlocking masonry units and shall be fully capped with a minimum of 4-inch solid masonry unit or equivalent.
5. Piers over 80 inches high shall be constructed in accordance with the provisions of subsection 2 above, provided the piers shall be filled solid with concrete and reinforced with four continuous No. 3 reinforcement bars (3/8" Diameter). One bar shall be placed in each corner cell.
6. Cast- in- place concrete piers meeting the same size and height limitations as noted above may be substituted for piers constructed of masonry units.

# LANDINGS AND STEPS

## Inspection B

The following items are required:

1. All landings/decks and steps must be free standing.
2. Landings are required at each exterior door. Landings must be a minimum of four (4) feet by four (4) feet and have guardrails, pickets and steps that comply with the International Residential Code. The top of the landing shall not be more than 1 ½ inches below the threshold of the door when the door swings over the landing. The top of the landing shall not be more than 7 ¾ inches below the threshold of the door when the door swings into the home.
3. Landings 30 inches or more above grade must have guardrails with pickets spaced less than 4 inches apart.
4. Steps having four (4) or more risers must have handrails on each open side regardless of the height and must continue the full length of the stairs.
5. Steps shall be 7 ¾ inches maximum in height. Treads shall be a minimum of 10 inches deep.
6. Guardrail height shall be 36 inches minimum.
7. Handrail height shall be 34 inches minimum and 38 inches maximum measured from nosing of the treads. Handrails must continue the full length of the stairs.  
*Note: All Handrails must meet the minimum graspable requirements (Type 1 or Type II).*
8. All wood components in contact with the ground shall be treated and approved for ground contact.
9. Wood exposed to weather must be pressure treated for outdoor use.

*Note: All Decks and stairs are to be constructed to meet the minimum requirements as outlined in the current adopted edition of the International Residential Code (IRC).*

*See stair and handrail specifications provided at end of this guide for details on Handrails & Stairs.*

# **SKIRTING**

## **Inspection C**

### **SKIRTING INSPECTION:**

All Manufactured Homes are required to be completely skirted within sixty (60) days of Foundation Approval.

SKIRTING NON-COMPLIANCE: Failure to skirt the Manufactured Home within the required time may result in the issuance of fines.

### **SKIRTING REQUIREMENTS:**

For health, safety, energy conservation and aesthetic purposes, skirting underneath all living areas is required within (60) days of foundation approval. The skirting is to be of a solid or perforated skirting material (wood, vinyl, metal, masonry, or similar material. All material which is not pre-treated or pre-finished must be painted or stained, except brick or stone) and is to be erected in such a fashion as not to create a fire hazard or harbor trash or rodents. Skirting shall be maintained in a good state of repair. Skirting must have an access door (Minimum 18" x 24") and must be properly vented. The minimum net ventilation openings shall not be less than 1 square foot for each 150 square feet of under floor space area. One vent shall be within 3 feet of each corner.

*NOTE: Lattice, treated or untreated is not an acceptable skirting material.*

*NOTE: All brick, block or stone skirting must have a properly installed concrete footing.*

# ELECTRICAL POWER SUPPLY

## Inspection B

An exterior means of disconnect is required on all services.

Meter bases and service equipment must be located no more than 30 feet from the exterior wall of the home it serves.

The feeder circuit shall be installed in accordance with the following instructions using the diagrams, numbers and letters as shown. In some cases, the service entrance stack conductors are furnished and installed by the power company. Check with your power company before installing these conductors.

*NOTE: Meter bases and service equipment may be mounted on the exterior wall per Manufacturer Instructions Only. Any person desiring to mount the electrical service equipment onto the exterior wall of a home must provide written documentation from the Manufacturer stating that it is permissible to attach equipment.*

### **FOUR WIRE SYSTEM CONDUCTORS AND SIZES:**

Use (4) separate insulated conductors approved for ampacity of main service disconnect.

See Wire Size below.

<u>Copper</u>				<u>Aluminum</u>			
<u>Amps</u>	<u>2-Hot</u>	<u>Neutral</u>	<u>Ground</u>	<u>Amps</u>	<u>2-Hot</u>	<u>Neutral</u>	<u>Ground</u>
200	2/0	#1	#6	200	4/0	2/0	#4
175	1/0	#2	#6	175	3/0	1/0	#4
150	#1	#3	#6	150	2/0	#1	#4
125	#2	#4	#8	125	1/0	#2	#6
100	#4	#8	#8	100	#2	#4	#6

*All Copper or Aluminum, no mixing on the Hot or Neutral. Ground may be different if there is no physical contact.*

### **Grounding of Electrical System:**

Required- Grounding of the main service equipment shall be made near the service by means of a continuous #6 solid copper wire (minimum) using an approved (acorn) connector to a minimum of 2 ground rods 8 feet in length and spaced at a minimum of 6 feet apart.

*NOTE: Any new receptacles/outlets installed for 125 volt, 15 and 20 ampere circuits are now required to be Tamper Resistant, this includes new GFCI outlets.*

Reference for wire requirements and grounding system is the National Electrical Code.

*See electrical installation specifications at end of this guide for details.*

# PLUMBING

## Inspection B

Installation of plumbing must meet the current adopted edition of the International Residential Code (IRC) and the International Plumbing Code (IPC). All plumbing must be connected, inspected and approved by this department prior to installation of skirting.

*NOTE: Do not connect PVC and ABS together unless an approved connector is used.*

# HVAC (Heating & Cooling Equipment)

## Inspection B

Installation of HVAC equipment is required to meet the current adopted edition of the International Residential Code (IRC), the International Mechanical Code (IMC), the International Fuel Gas Code (IFGC) and manufacturer's installation instructions. All ductwork under the home (if applicable) must be installed, inspected and approved by this department prior to installation of skirting.

An exterior means of disconnect is required and must be properly secured. The exterior means of disconnect cannot be mounted on the unit

*NOTE: A separate Mechanical Permit is required for all homes requiring a gas meter.*

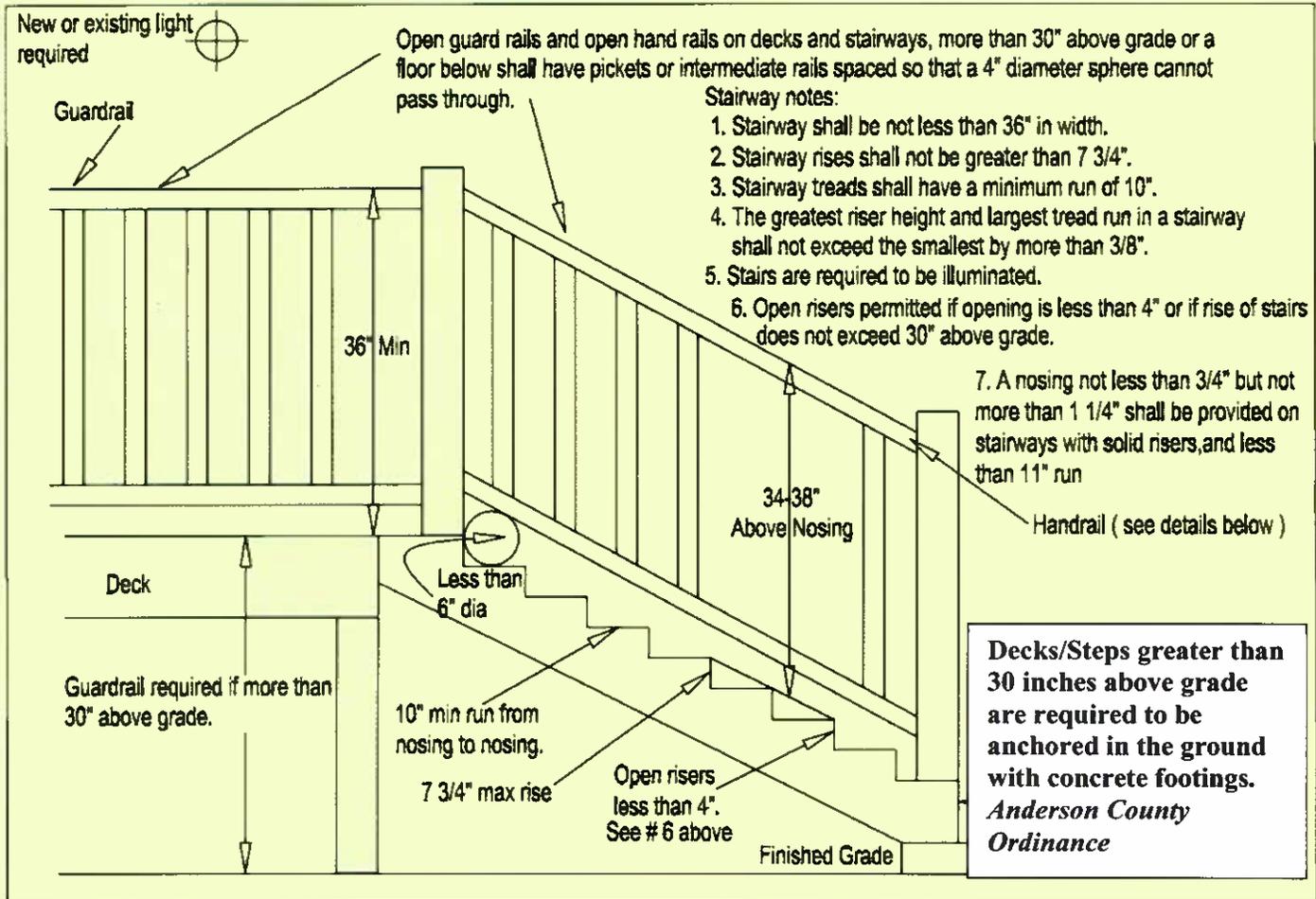
### Dryer Exhaust Ducts:

Dryer ducts installation shall be in accordance with the current adopted edition of the International Residential Code (IRC), the International Mechanical Code (IMC) and the manufacturer's Installation instructions. *Dryer ducts must be installed, inspected and approved by this department prior to installation of skirting.*

The following are required:

1. Dryer ducts shall terminate on the outside of the building. Exhaust cannot terminate under the crawl space area.
2. Exhaust ducts shall be constructed of minimum 0.016-inch-thick rigid metal having smooth interior surfaces with joints running in the direction of air flow. Exhaust ducts shall not be connected with sheet metal screws or fastening means which extend into the duct. Exhaust ducts must be four (4) inches nominal in diameter and cannot exceed thirty-five (35) feet in length, see Clothes Dryer Exhaust section located in the IRC for complete details.

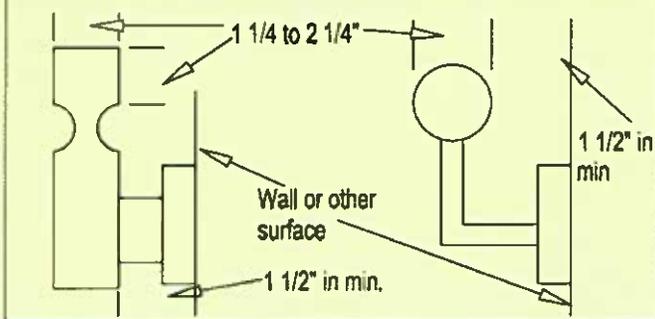
# STAIR & HANDRAIL SPECIFICATIONS



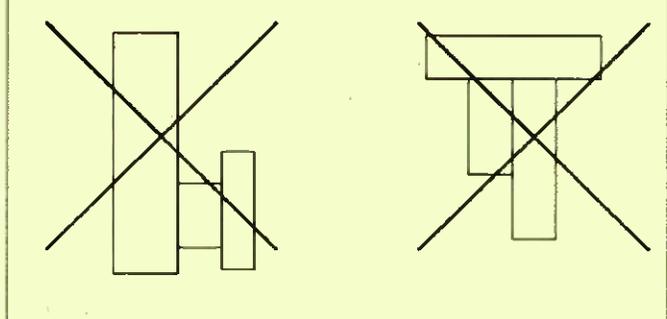
## HANDRAIL NOTES :

1. Handrails shall be continuous on at least one side of stairs with 4 or more risers.
2. Handrails shall be placed not less than 34" nor more than 38" above stair nosings.
3. The hand grip portion of handrails shall be not less than 1-1/4" nor more than 2 1/4" in circular cross section.
4. Handrails shall be placed not less than 1-1/2" from any wall or other surface.
5. Handrails to be returned to wall, post or safety terminal

## ACCEPTABLE HANDRAIL DETAILS

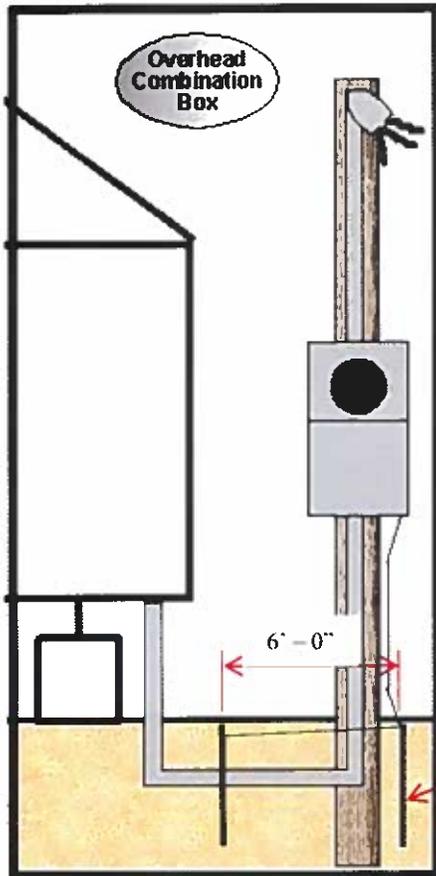


## UNACCEPTABLE HANDRAILS

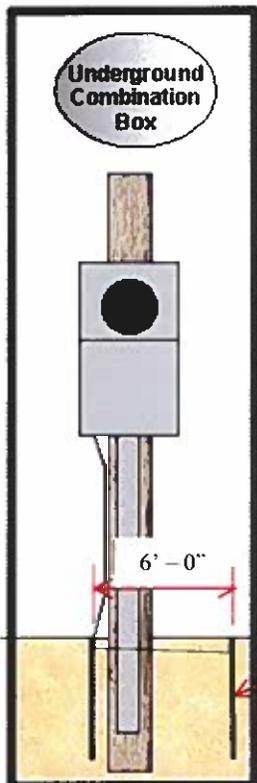
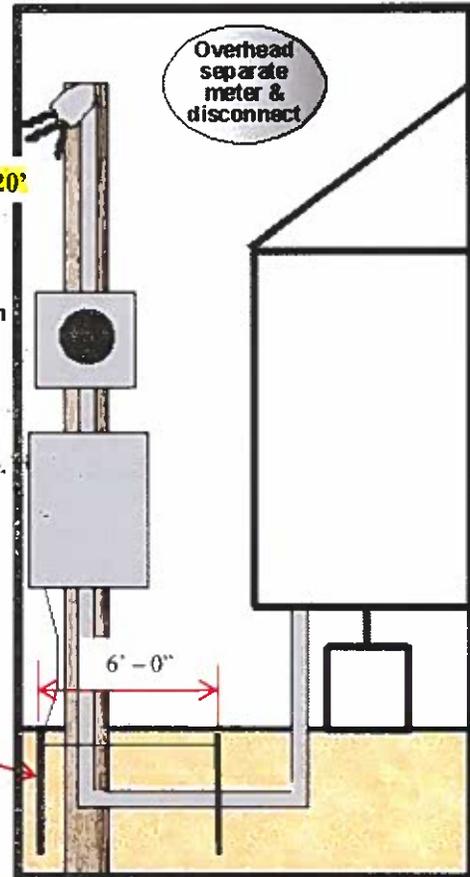


A graspable handrail is required on at least one side of the stair. Other shapes may be acceptable but require prior approval.

# ELECTRICAL INSTALLATIONS

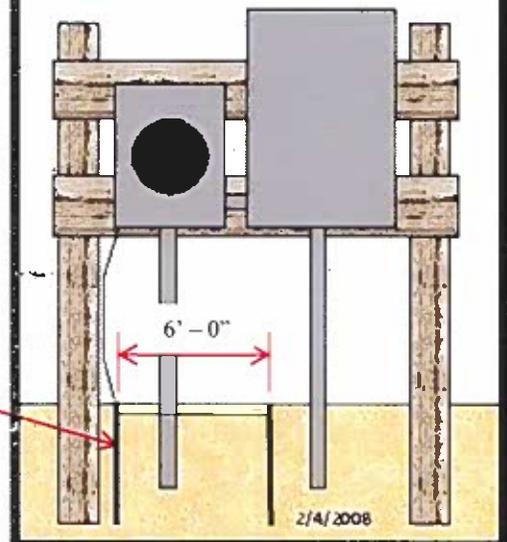


- ☆ Service disconnect minimum 100 amp
- ☆ For overhead services, use 6" x 6" x 20' treated pole. Placed in ground to depth of 4'-0" min.
- ☆ Underground services using combination boxes may be mounted on a single 6" x 6" x 10' treated pole. placed in ground to depth of 3' 6"
- ☆ For overhead installation, secure service rise with straps 12" from head and not exceeding 30" intervals.
- ☆ Maximum distance between home and service = 30'
- ☆ Wiring above ground, to burial depth, must be in conduit.
- ☆ Trench depth must be:  
6" burial/ Rigid metal conduit  
18" burial/ Rigid non-metallic conduit  
24" Direct burial wire type



- ☆ 2' minimum clearance from bottom of disconnect to grade level.
- ☆ Meter height between 5' & 6' above grade level.
- ☆ Trench must be left open for inspection.
- ☆ Separate Meter & Disconnect should be mounted on 4"x4" pressure treated posts. 2"x6" treated cross members joined with galvanized nails. Posts must be 36" in the ground.
- ☆ Service ground wire must be minimum #6 Copper wire to ground rod. (same for overhead service)
- ☆ Ground rod must be minimum 5/8" x 8' Ground rod must be driven to grade level or below.

Pressure treated wood not allowed by Duke Energy for this configuration. Minimum 1 1/2" Unistrut, or Aluminum, Galvanized, or Zinc Plated Steel Angle. Contact Duke Energy for additional information.



DRAWINGS ARE NOT TO SCALE

\* Check with your power purveyor to confirm information here meets their current policies.



To: Mobile Home Dealers & Moving Contractors

The procedures and requirements for bringing a mobile home into the city limits of Union, South Carolina and for removing a mobile home from the city limits of Union, South Carolina are as follows:

1. The property owner must obtain Assessor's Property Sheet from the Tax Assessor's Office to assure proper location of the mobile home on the property;
2. The property is to be staked and inspected before placement of the mobile home on the property, (to meet setback requirements);
3. **The mobile home must be set up per S.C. Manufacturing Housing Board and International Code Regulations:**
4. The mobile home dealer must obtain the permit for set-up and sewer tap, (if new tap is to be made), before the mobile home can be placed on a lot inside the city;
5. The person moving the mobile home must obtain a city business license and be licensed with the State of South Carolina and (if moving a mobile home out of the city), they must obtain a moving permit from the city;
6. **Under no circumstances can home owners purchase the mobile home permit or moving permit for the mobile home dealer or the moving contractor:**
7. Mobile homes must meet zoning regulations for setbacks & age. (Mobile home cannot be over 10 years old.);
8. **No utility releases will be issued until all skirting and porches are installed.** (It is the owner's responsibility to call for an inspection when this has been done at 429-1720.);
9. No power will be turned on for the mobile home until the sewer & water connections are made and inspected, (except for temporary power in the contractor's name.);
10. The electrical hook-up must be done by a licensed electrician, sewer & water hook ups by a licensed plumber and heat & air conditioning work must be done by a licensed HVAC contractor.

Any person who fails to comply with or violates any of the provisions of the City Code of the City of Union shall be guilty of a misdemeanor.

If we can be of any assistance, please contact our office at (864) 429-1720.

City of Union  
Planning Department